

76 Napier Drive, Horwich, Bolton, BL6 6GF



Offers In The Region Of £290,000

Built by Jones Homes in 2016 this deceptively spacious three bedroom detached property offers superb accommodation throughout. The interior offers spacious reception rooms downstairs wc and large kitchen diner fitted with a range of modern white units. to the first floor there are three generously proportioned bedrooms and family bathroom. to the outside there is a private rear garden that is not overlooked and backs onto woodland. Double length driveway to the side and open plan garden to the front. The property is sold with no onward chain and vacant possession. Viewing is essential to appreciate all that is on offer.

- 3 Bedroom Detached
- Fitted Dining Kitchen
- Private Rear Gardens Not Overlooked
- EPC Rating C
- Spacious Lounge
- Generous Bedrooms
- No Chain and Vacant Possession
- Council Tax Band C



Situated on this highly popular residential estate offering superb access to local amenities, Middlebrook retail park along with M61 motorway and train links at Lostock Parkway giving commuters the option for Manchester Preston and beyond. The property was built by Jones Homes in 2016 and is tucked away at the head of a cul de sac backing onto woodland. Well presented throughout and being offered for sale with no onward chain the property comprises : Porch, cloakroom w.c. Spacious lounge, fitted dining kitchen with 'French' doors to garden, to the first floor there are three generous bedrooms and family bathroom fitted with a white three piece suite. Outside there are open plan gardens to the front with double length driveway to the side and an enclosed garden to the rear with small paved patio and raised timber decking area. Viewing is essential to appreciate all that is on offer.

Porch

Radiator, laminate flooring, double glazed composite entrance door, door to:

WC

UPVC frosted double glazed window to front, fitted with two piece modern white suite comprising, corner wall mounted wash hand basin with mixer tap and tiled splashback and low-level WC, radiator, laminate flooring.

Lounge 14'5" x 15'1" (4.39m x 4.60m)

UPVC double glazed window to front, two radiators, laminate flooring, stairs to first floor landing, door to:

Kitchen/Diner 9'6" x 15'1" (2.89m x 4.60m)

Fitted with a matching range of modern white base and eye level units with underlighting and drawers, stainless steel sink unit with single drainer and mixer tap, wall mounted concealed gas combination boiler serving heating system and domestic hot water, integrated fridge/freezer, plumbing for washing machine and dishwasher, built-in electric fan assisted double oven, four ring gas with extractor hood over, uPVC double glazed window to rear, radiator, laminate flooring, uPVC double glazed french doors to garden, door to built-in under-stairs storage cupboard.

Landing

Built-in over-stairs storage cupboard, radiator, door to:

Bedroom 1 12'6" x 8'8" (3.82m x 2.65m)

UPVC double glazed window to front, radiator.

Bedroom 2 11'6" x 8'1" (3.51m x 2.46m)

UPVC double glazed window to rear, radiator.

Bedroom 3 10'8" x 6'11" (3.24m x 2.11m)

UPVC double glazed window to front, radiator.



Bathroom

Fitted with three piece modern white suite comprising deep panelled bath with over and folding glass screen, pedestal wash hand basin with mixer tap and low-level WC, full height ceramic tiling to all walls, extractor fan, uPVC frosted double glazed window to rear, radiator, ceramic tiled flooring, ceiling with recessed spotlights.



Outside

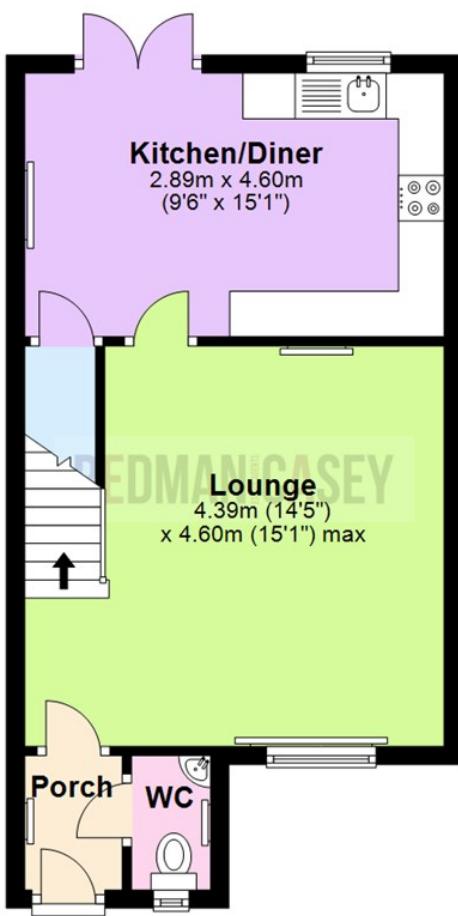
Open plan front garden, tarmac driveway to the side with car parking space for two cars with paved pathway leading to front entrance door and mature flower and shrub borders.

Private rear garden, enclosed by timber fencing to rear and sides, timber, decking and area with grassed area, side gated access, further raised timber decking area.



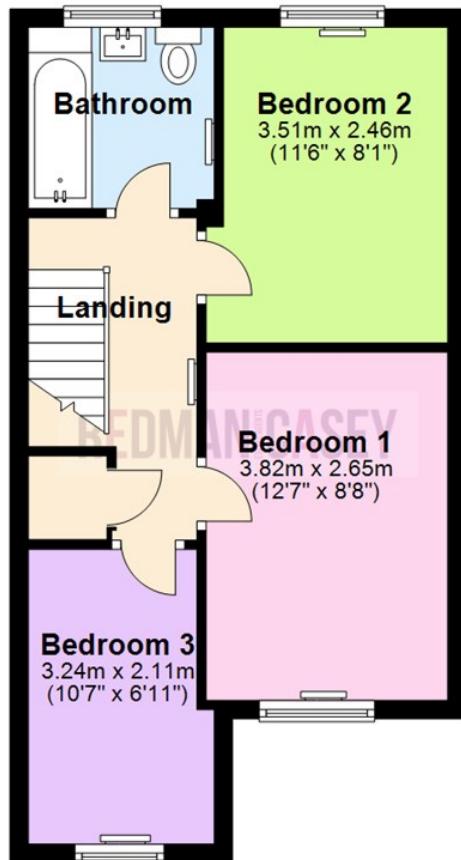
Ground Floor

Approx. 37.2 sq. metres (400.7 sq. feet)



First Floor

Approx. 37.5 sq. metres (403.2 sq. feet)



Total area: approx. 74.7 sq. metres (803.9 sq. feet)

The information provided in this brochure has been approved by the vendor, however they do not represent any form of contract and it must not be assumed that they are a final detail of what is being left in the property. The floor plans provided are a representation only and must not be relied upon for exact measurements. Please note, we have not tested any appliances or services and do not imply any warranty or guarantee unless specifically mentioned.

Plan produced using PlanUp.

Energy Efficiency Rating

	Current	Potential
<i>Very energy efficient - lower running costs</i>		
(92 plus) A		91
(81-91) B		78
(69-80) C		
(55-68) D		
(39-54) E		
(21-38) F		
(1-20) G		
<i>Not energy efficient - higher running costs</i>		
England & Wales	EU Directive 2002/91/EC	

Environmental Impact (CO₂) Rating

	Current	Potential
<i>Very environmentally friendly - lower CO₂ emissions</i>		
(92 plus) A		
(81-91) B		
(69-80) C		
(55-68) D		
(39-54) E		
(21-38) F		
(1-20) G		
<i>Not environmentally friendly - higher CO₂ emissions</i>		
England & Wales	EU Directive 2002/91/EC	

